

001811/18

I-1637/18



पश्चिम बंगाल पश्चिम बंगाल WEST BENGAL

Y 913728



Certified that the document is admitted to
signature sheets and the
sheets attached with this
is the part of this document.

District Sub-Registrar-V
Alipore, South 24 Parganas

29.06.18

DEVELOPMENT POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS THAT WE, (1)

SRI SANKAR RANJAN NAHA alias RANJAN SANKAR

NAHA, (PAN- ABOPN8930F), son of Late Kalipada

Naha, by Religion - Hindu, by occupation - Retired

from Service, by Nationality - Indian, resident of

48/1, Suburban School Road, (presently Suhasini Ganguly Sarani), P.S.- Bhowanipur, P.O.- Bhowanipur, Kolkata - 700025, (2)a) **SMT. ARATI NAHA**, (PAN - **AHCPN4794M**) wife of Late Keshab Ranjan Naha, by occupation - Housewife, (b) **SRI KUSHAL NAHA**, (PAN - **ABYPN3871D**), son of Late Keshab Ranjana Naha, by occupation - Service, (c) **SMT. SARBANI DAS**, (PAN- **AVSPD2899P**), wife of Sri Indranil Das and daughter of Late Keshab Ranjan Naha, by occupation - Housewife, all are by Religion - Hindu, by Nationality - Indian, No. 1 & 2 residents of 48/1, Suburban School Road, (presently Suhasini Ganguly Sarani), P.S.- Bhowanipur, P.O.- Bhowanipur, Kolkata - 700025 and No. 3 resident of 190J, Picnic Garden Road, P.S. & P.O.- Picnic Garden, Kolkata - 700039, hereinafter jointly and collectively called and referred to as the **LAND OWNERS** (which term or expression shall unless excluded by or repugnant to the context be deemed to mean and include their respective heirs, administrators, legal representatives and assigns) of the **FIRST PARTY** do hereby nominate constitute and appoint **M/S ROY & PAL PROJECTS INDIA PRIVATE LIMITED**, (PAN - **AAFCR4034D**) a Private Limited Company having its registered office at 16, Park Avenue,

Modern Park, Santoshpur, Police Station – Purba Jadavpur, Kolkata – 700 075, in the District of South 24- Parganas, being Represented by its Directors namely (1) **SRI BIPASH ROY**, (PAN- **AIYPR6763R**), son of Sri Swadesh Ranjan Roy, by Caste – Hindu, by occupation – Business, residing at 39, Park Avenue, Police Station – Purba Jadavpur, Kolkata – 700 075 and (2) **SRI ASIM PAL**, (PAN- **AFQPP6941N**), son of Late Adhir Chandra Pal, by caste – Hindu, by occupation – Business, residing at 16, Park Avenue, Police Station – Purba Jadavpur, Kolkata – 700 075, respectively as our true and lawful attorney either individually and / or jointly, to do the following acts, deeds and things on behalf in respect of my schedule property as described below lying and situated at K.M.C. Premises No. 441, Modern Park, Santoshpur, Kolkata – 700 075, under Ward No. 103, Police Station – SURVEY PARK, within District of South 24- Parganas, hereinafter called the said property.

AND WHEREAS by Indenture of Development Agreement dtd. 29/06/2018... between (1) **SRI SANKAR RANJAN NAHA alias RANJAN SANKAR NAHA**, (PAN- **ABOPN8930F**), son of Late Kalipada Naha, by Religion – Hindu, by occupation – Retired from Service, by Nationality

Sankar Ranjan Naha.
Asati Naha.
Gokarn Das.
Ranjan Naha.

- Indian, resident of 48/1, Suburban School Road, (presently Suhasini Ganguly Sarani), P.S.- Bhowanipur, P.O.- Bhowanipur, Kolkata - 700025, (2)a) **SMT. ARATI NAHA**, (PAN - **AHCPN4794M**) wife of Late Keshab Ranjan Naha, by occupation - Housewife, (b) **SRI KUSHAL NAHA**, (PAN - **ABYPN3871D**), son of Late Keshab Ranjana Naha, by occupation - Service, (c) **SMT. SARBANI DAS**, (PAN- **AVSPD2899P**), wife of Sri Indranil Das and daughter of Late Keshab Ranjan Naha, by occupation - Housewife, all are by Religion - Hindu, by Nationality - Indian, No. 1 & 2 residents of 48/1, Suburban School Road, (presently Suhasini Ganguly Sarani), P.S.- Bhowanipur, P.O.- Bhowanipur, Kolkata - 700025 and No. 3 resident of 190J, Picnic Garden Road, P.S. & P.O.- Picnic Garden, Kolkata - 700039, described therein Owners of the **First Part** and **M/S ROY & PAL PROJECTS INDIA PRIVATE LIMITED**, (PAN - **AAFCR4034D**) a Private Limited Company having its registered office at 16, Park Avenue, Modern Park, Santoshpur, Police Station - Purba Jadavpur, Kolkata - 700 075, in the District of South 24- Parganas, being Represented by its Directors namely (1) **SRI BIPASH ROY**, (PAN- **AIYPR6763R**), son of Sri Swadesh Ranjan Roy, by

Caste - Hindu, by occupation - Business, residing at 39, Park Avenue, Police Station - Purba Jadavpur, Kolkata - 700 075 and (2) **SRI ASIM PAL**, (PAN- **AFQPP6941N**), son of Late Adhir Chandra Pal, by caste - Hindu, by occupation - Business, residing at 16, Park Avenue, Police Station - Purba Jadavpur, Kolkata - 700 075, described therein as the Developer, **Second Part or Other Part**, the owner of the First Part executed the said Development Agreement in favour of the Developer, **M/S ROY & PAL PROJECTS INDIA PRIVATE LIMITED**, for construction of Straight III storied building on the Schedule below property in respect of the K.M.C. Premises No. 441, Modern Park, Santoshpur, Kolkata - 700 075, under Ward No. 103, Police Station - SURVEY PARK, within District of South 24- Parganas, the said Development Agreement was duly registered in the Office of D.S.R. V.... Alipore, recorded in Book No. I...., Being No:1635....., for the year, 2018.

- 1) To appear and act in all the court, civil, criminal whether revision or appellate, tribunal, revenue office, settlement office, registration office, certificate office, and in any office or offices either Central Government

Santosh Roy - Naha.
 Debi Mohan.
 Gopalani Das - Ramesh Naha.

or State Government, Dist - Magistrate Board, Municipal Board or Notified area or any other local Authority/ies.

- 2) To appoint any Advocate, Barrister, Engineer, Architect revenue agent or any other legal practitioner or any person legally authorized to do any act.
- 3) To sign and verify plaint, written statement, memorandum of appeal, writ application, objection, cross objection, affidavit and all applications, petitions which will be necessary for conducting case appeal, revision, ~~writ~~ or any other cases or cases in the said property as the said Attorney shall think proper.
- 4) To sign and apply the proposed building plan and others relevant documents which will be submitted to the appropriate authority or the Kolkata Municipal Corporation for sanction and also apply for obtaining water, telephone, sewerage, electricity and other public utility services in or upon the said premises as the said Attorney shall think proper.

- 5) To compromise, compound or withdraw case and to pray any relief and to refer cases to arbitration.
- 6) To file and receive back any documents, to deposit money by challan or receipt and to withdraw money from any suit, cases, or from any office or offices and to grant proper acknowledgement receipt.
- 7) To accept service of any summons, notice, writ issued by any court, and office against us in respect of the Schedule property.
- 8) To obtain, refund of stamp duty, court fees or repayment of stamp duty or court fees.
- 9) To execute any order or any decree and to take delivery of possession in respect of Schedule property in execution of any and to take payment in execution of money decree and shall acknowledge possession and payment by making endorsement on the required papers.

- 10) To apply to court and office for copies of documents and papers and to withdraw deed, documents, papers, from any court.
- 11) To apply for the inspection and / or to inspect judicial records of any office either Central or State of Local Government.
- 12) To negotiate with any person or persons, officer or any authority / authorities relating to the affairs of the Schedule property and to take decision.
- 13) To enter into Agreement for Sale and to accept consideration money either in part or in full from the prospective purchasers in respect of the Developers' Allocation with proportionate share of land as per Development Agreement Being No.....1635 dated.....29/06/2018..... recorded in Book No: I, for the year 2018.
- 14) To give consent of mutation of names to the proposed purchases and to give consent in any manner which may require to the Purchaser to Purchaser on my behalf.

Smt. Rajni Nisha
 Arati Nisha
 Sarbani Das
 Anil Nisha

15) To execute and register proper instrument of Sale or any transfer deed in respect of Developers' Allocation of Schedule property in favour of the intending purchaser, accepting the entire consideration on duly stamped conveyance as well as in favour of any nominated person and shall present the same before any registering authority and to admit execution and registration and after accepting the consideration, shall deliver possession of the same to the intending purchasers and to do all acts, which will be required for completion of sale under the provision of the Transfer of property act as well as the Indian Registration Act or Act any acts or act for the time being in force.

16) General to do all necessary act or acts as our Attorney in respect of the matter aforesaid and all other matters in which we may be interested or concerned and on our behalves to execute and to do all acts, deeds or things as fully and effectually in all respect as ourselves to do if personally being present.

A N D we hereby agree that all acts, deeds and things lawfully done by us said Attorneys shall be construed as acts, deeds and things and done by us. We undertake to ratify and confirm and all whatsoever that our said Attorneys shall lawfully do or cause to be done for us by virtue of this Power hereby given.

SCHEDULE OF THE PROPERTY

ALL THAT piece and parcel of BASTU land measuring more or less an area 2 (Two) Cottahs 8 (Eight) Chittaks, in Mouza - Rajapur, P.S. then Tollygunge thereafter Jadavpur then Purba Jadavpur and now Survey Park in the District of South 24 Parganas comprised in Touzi No. 109, R.S. No. 14, J.L. No. 23, R.S. Khatian No. 295 and R.S. Dag No. 679, Ward No. 103 within the limit of the Kolkata Municipal Corporation, being Assessee No: 31-103-29-0441-9 being Premises No; 441, Modern Park, Kolkata -700075 the same is butted and bounded in the manner follows :-

On the NORTH	::	Plot No. 17;
On the SOUTH	::	Plot No. 13 ;
On the EAST	::	16'ft Wide Road;
On the WEST	::	Plot No. 14 and 12;

IN WITNESS WHEREOF we put our signature this
 29th Day of June 2018

WITNESSES:

1) Basu An Paul.
 Alipore Police
 Court. Kol-27

2) Sh. Nani Naha
 48/1 Subairam School
 Road. Kol-700 25

Sankar Ranjan Naha
 Sarbani Das.

Asati Naha.
 Nani Naha

Signature of the **EXECUTANTS**

We accept the Power of Attorney.

Drafted by
 Debayan B.
 Adv.
 P-1776/03
 Alipore Police Court
 Kol-27.

ROY & PAL PROJECTS INDIA PVT. LTD.

Bipank Roy. Asim Pal.
 Director.

Signature of **POWER OF ATTORNEYS**



Thumb

1st finger

Middle Finger

Ring Finger

Small Finger

left hand					
right hand					

Name SANKAR RANJAN NAHASignature Sankar Ranjan Naha

Thumb

1st finger

Middle Finger

Ring Finger

Small Finger

left hand					
right hand					

Name SARBANI DASSignature Sarbani Das

Thumb

1st finger

Middle Finger

Ring Finger

Small Finger

left hand					
right hand					

Name ARATI NAHASignature Arati Naha

Thumb

1st finger

Middle Finger

Ring Finger

Small Finger

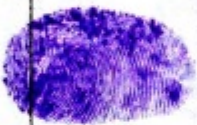
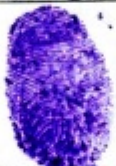
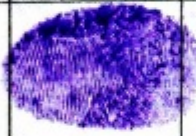
left hand					
right hand					

Name KUSHAL NAHASignature Kushal Naha

		Thumb	1 st finger	middle finger	ring finger	small finger
PHOTO	left hand					
	right hand					

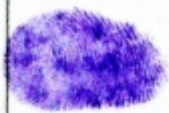
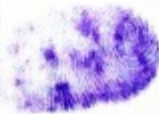
Name

Signature

		Thumb	1 st finger	middle finger	ring finger	small finger
	left hand					
	right hand					

Name BIPASH ROY

Signature Bipash Roy

		Thumb	1 st finger	middle finger	ring finger	small finger
	left hand					
	right hand					

Name ASIM PAL

Signature Asim Pal

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

SARBANI DAS

KESHAB RANJAN NAHA

02/11/1969

Permanent Account Number

AVSPD2899P

Sarbani Das

Signature



22052010

Sarbani Das.



आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

ARATI NAHA

SUDHIR GHOSH

01/01/1950

Permanent Account Number

AHCPN4794M

Arati Naha
Signature



22/05/2008

Arati Naha.



इस कार्ड के खोने / पाने पर कृपया सूचित करें / लौटाएं :
आयकर पैन सेवा इकाई, एन एस डी एल
पहली मंजिल, टाइम्स टॉवर, कमला मिल्स कॉम्पाउंड,
एस. बी. मार्ग, लोअर परेल, मुम्बई - 400 013.

If this card is lost / someone's lost card is found,
please inform / return to :
Income Tax PAN Services Unit, NSDL
1st Floor, Times Tower,
Kamala Mills Compound,
S. B. Marg, Lower Parel, Mumbai - 400 013.

Tel: 91-22-2499 4650, Fax: 91-22-2495 0664,
e-mail: tininfo@nsdl.co.in

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

KUSHAL NAHA

KESHAB RANJAN NAHA

14/08/1974

Permanent Account Number

ABYPN3871D

Kushal Naha
Signature



Kushal Naha



In case this card is lost / found, kindly inform / return to :

Income Tax PAN Services Unit, UTIISL

Plot No. 3, Sector 11, CBD Belapur,

Navi Mumbai - 400 614.

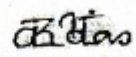
यह कार्ड खो जाने पर कृपया सूचित करें/लौटाएं :

आयकर पैन सेवा यूनिट, UTIISL

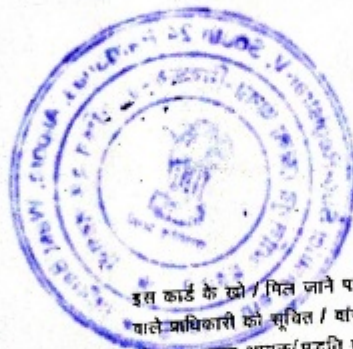
प्लॉट नं: ३, सेक्टर ११, सी.बी.डी.बेलापुर,

नवी मुंबई-४०० ६१४.

Kushal Naha

स्थायी लेखा संख्या /PERMANENT ACCOUNT NUMBER	ABOPN8930F	
	नाम /NAME RANJAN SANKAR NAHA	
	पिता का नाम /FATHER'S NAME KALIPADA NAHA	
	जन्म तिथि /DATE OF BIRTH 18-12-1941	
हस्ताक्षर /SIGNATURE <i>Sankar Ranjan Naha</i>	 आयकर आयुक्त, प.ब. - XI COMMISSIONER OF INCOME-TAX, W.B. - XI	

Sankar Ranjan Naha



इस कार्ड के खो / गिर जाने पर कृपया जारी करने वाले अधिकारी को सूचित / वापस कर दें (संयुक्त आयकर आयुक्त (पद्धति एवं तकनीकी), पी-7, चौरंगी स्कवायर, कलकत्ता - 700 069.)

In case this card is lost/found, kindly inform/return to the issuing authority :
Joint Commissioner of Income-tax (Systems & Technical),
P-7,
Chowringhee Square.

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

ROY & PAL PROJECTS INDIA PRIVATE
LIMITED

27/01/2011

Permanent Account Number

AAFCR4034D

13062011

ROY & PAL PROJECTS INDIA PVT. LTD.

Asim Pal.
Director.



यदि कार्ड खोले / पाए गए गुप्तता सूचित करें / लौटाएं
आयकर पैन सेवा इकाई, एनएसडी एन
तीसरी मंजिल, सफायर चेंबर,
बानेर टेलिफोन एक्चेंज के नजदीक,
बानेर, पुना - 411045

If this card is lost / someone's lost card is found,
please inform / return to
Income Tax PAN Services Unit, NSDL
3rd Floor, Sapphire Chambers,
Near Baner Telephone Exchange,
Baner, Pune - 411045

Tel: 91-20-2721 8080, Fax: 91-20-2721 8081
e-mail: tininfo@nsdl.co.in

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

ASIM PAL

ADHIR CHANDRA PAL

29/12/1968

Permanent Account Number

AFQRP6941N

Asim Pal

Signature



Asim Pal.



In case this card is lost / found, kindly inform / return to :
Income Tax PAN Services Unit, UTITSL
Plot No. 3, Sector 11, CBD Belapur,
Navi Mumbai - 400 614.

यह कार्ड खो जाने पर कृपया सूचित करें/लौटए :
आयकर पैन सेवा यूनिट, UTITSL
प्लॉट नं: ३, सेक्टर ११, सी.बी.डी. बेलपुर,
नवी मुंबई-४०० ६१४.

आयकर विभाग
INCOME TAX DEPARTMENT



भारत सरकार
GOVT. OF INDIA

BIPASH ROY
SWADESH RANJAN ROY
27/01/1968
Permanent Account Number
AIYPR6763R



Bipash Roy
Signature



Bipash Roy

Major Information of the Deed

Deed No :	I-1630-01637/2018	Date of Registration	29/06/2018
Query No / Year	1630-1000179502/2018	Office where deed is registered	
Query Date	29/06/2018 11:06:52 AM	D.S.R. - V SOUTH 24-PARGANAS, District: South 24-Parganas	
Applicant Name, Address & Other Details	Basu Dev Paul Thana : Alipore, District : South 24-Parganas, WEST BENGAL, Mobile No. : 9123358303, Status :Others		
Transaction		Additional Transaction	
[0138] Sale, Development Power of Attorney after Registered Development Agreement		[4305] Other than Immovable Property, Declaration [No of Declaration : 2]	
Set Forth value		Market Value	
Rs. 2,00,000/-		Rs. 45,30,000/-	
Stampduty Paid(SD)		Registration Fee Paid	
Rs. 100/- (Article:48(g))		Rs. 53/- (Article:E, E, M(b), H)	
Remarks	Development Power of Attorney after Registered Development Agreement of [Deed No/Year]:- 163001635/2018 Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

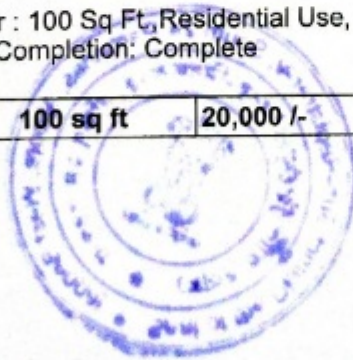
Land Details :

District: South 24-Parganas, P.S:- Purba Jadabpur, Corporation: KOLKATA MUNICIPAL CORPORATION, Road: Modern Park, , Premises No. 441, Ward No: 103

Sch No	Plot Number	Khatian Number	Land Use Proposed	ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1			Bastu		2 Katha 8 Chatak	1,80,000/-	45,00,000/-	Width of Approach Road: 16 Ft.,
Grand Total :					4.125Dec	1,80,000 /-	45,00,000 /-	

Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	100 Sq Ft.	20,000/-	30,000/-	Structure Type: Structure
Gr. Floor, Area of floor : 100 Sq Ft, Residential Use, Cemented Floor, Age of Structure: 5 Years, Roof Type: Tiles Shed, Extent of Completion: Complete					
Total :		100 sq ft	20,000 /-	30,000 /-	



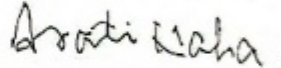
Major Information of the Deed :- I-1630-01637/2018-29/06/2018

Details :

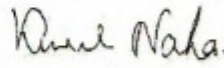
Name, Address, Photo, Finger print and Signature

Name	Photo	Fingerprint	Signature
Shri Sankar Ranjan Naha, (Alias: Shri Ranjan Sankar Naha) Son of Late Kalipada Naha Executed by: Self, Date of Execution: 29/06/2018 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office			
29/06/2018	LTI 29/06/2018	29/06/2018	

48/1 Suburban School Road Suhasini Ganguly Sarani, P.O:- Bhawanipore, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700025 Sex: Male, By Caste: Hindu, Occupation: Retired Person, Citizen of: India, PAN No.: ABOPN8930F, Status :Individual, Executed by: Self, Date of Execution: 29/06/2018
 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office

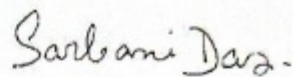
Name	Photo	Fingerprint	Signature
Smt Arati Naha Wife of Late Keshab Ranjan Naha Executed by: Self, Date of Execution: 29/06/2018 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office			
29/06/2018	LTI 29/06/2018	29/06/2018	

48/1 Suburban School Road, P.O:- Bhawanipore, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700025 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.: AHCPN4794M, Status :Individual, Executed by: Self, Date of Execution: 29/06/2018
 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office

Name	Photo	Fingerprint	Signature
Shri Kushal Naha Son of Late Keshab Ranjan Naha Executed by: Self, Date of Execution: 29/06/2018 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office			
29/06/2018	LTI 29/06/2018	29/06/2018	

48/1 Suburban School Road, P.O:- Bhawanipore, P.S:- Bhawanipore, District:-South 24-Parganas, West Bengal, India, PIN - 700025 Sex: Male, By Caste: Hindu, Occupation: Service, Citizen of: India, PAN No.: ABYPN3871D, Status :Individual, Executed by: Self, Date of Execution: 29/06/2018
 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office

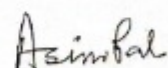
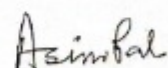
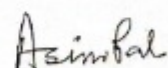
Major Information of the Deed :- I-1630-01637/2018-29/06/2018

Name	Photo	Fingerprint	Signature
Smt Sarbani Das Wife of Shri Indranil Das Executed by: Self, Date of Execution: 29/06/2018 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office			
29/06/2018	LTI 29/06/2018	29/06/2018	
190J Picnic Garden Road, P.O:- Picnic Garden, P.S:- Tiljala, District:-South 24-Parganas, West Bengal, India, PIN - 700039 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India, PAN No.: AVSPD2899P, Status :Individual, Executed by: Self, Date of Execution: 29/06/2018 , Admitted by: Self, Date of Admission: 29/06/2018 ,Place : Office			

Attorney Details :

Sl No	Name,Address,Photo,Finger print and Signature
1	M/s Roy And Pal Projects India Private Limited 16 Park Avenue Modern Park Santoshpur, P.O:- Santoshpur, P.S:- Purba Jadabpur, District:-South 24-Parganas, West Bengal, India, PIN - 700075 , PAN No.: AAFCR4034D, Status :Organization, Executed by: Representative

Representative Details :

Sl No	Name,Address,Photo,Finger print and Signature																
1	<table border="1"> <thead> <tr> <th>Name</th> <th>Photo</th> <th>Finger Print</th> <th>Signature</th> </tr> </thead> <tbody> <tr> <td> Shri Bipash Roy (Presentant) Son of Late Swadesh Ranjan Roy Date of Execution - 29/06/2018, , Admitted by: Self, Date of Admission: 29/06/2018, Place of Admission of Execution: Office </td> <td>  </td> <td>  </td> <td>  </td> </tr> <tr> <td>Jun 29 2018 11:25AM</td> <td>LTI 29/06/2018</td> <td>29/06/2018</td> <td></td> </tr> <tr> <td colspan="4"> 39 Park Avenue, P.O:- Santoshpur, P.S:- Purba Jadabpur, District:-South 24-Parganas, West Bengal, India, PIN - 700075, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.: AIYPR6763R Status : Representative, Representative of : M/s Roy And Pal Projects India Private Limited (as Director) </td> </tr> </tbody> </table>	Name	Photo	Finger Print	Signature	Shri Bipash Roy (Presentant) Son of Late Swadesh Ranjan Roy Date of Execution - 29/06/2018, , Admitted by: Self, Date of Admission: 29/06/2018, Place of Admission of Execution: Office				Jun 29 2018 11:25AM	LTI 29/06/2018	29/06/2018		39 Park Avenue, P.O:- Santoshpur, P.S:- Purba Jadabpur, District:-South 24-Parganas, West Bengal, India, PIN - 700075, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.: AIYPR6763R Status : Representative, Representative of : M/s Roy And Pal Projects India Private Limited (as Director)			
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Name	Photo	Finger Print	Signature														
Shri Asim Pal Son of Late Adhir Chandra Pal Date of Execution - 29/06/2018, , Admitted by: Self, Date of Admission: 29/06/2018, Place of Admission of Execution: Office																	
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Major Information of the Deed :- I-1630-01637/2018-29/06/2018

Transfer Details :

Name & address

Mr Basu Dev Paul
Son of Late D C Paul
Alipore Police Court, P.O:- Alipore, P.S:- Alipore, District:-South 24-Parganas, West Bengal, India, PIN - 700027, Sex: Male, By Caste: Hindu, Occupation: Others, Citizen of: India, Identifier Of Shri Sankar Ranjan Naha, Smt Arati Naha, Shri Kushal Naha, Smt Sarbani Das, Shri Bipash Roy, Shri Asim Pal

Basu dev Paul

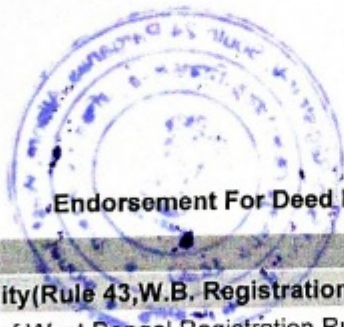
29/06/2018

Transfer of property for L1

Sl.No	From	To. with area (Name-Area)
1	Shri Sankar Ranjan Naha	M/s Roy And Pal Projects India Private Limited-1.03125 Dec
2	Smt Arati Naha	M/s Roy And Pal Projects India Private Limited-1.03125 Dec
3	Shri Kushal Naha	M/s Roy And Pal Projects India Private Limited-1.03125 Dec
4	Smt Sarbani Das	M/s Roy And Pal Projects India Private Limited-1.03125 Dec

Transfer of property for S1

Sl.No	From	To. with area (Name-Area)
1	Shri Sankar Ranjan Naha	M/s Roy And Pal Projects India Private Limited-25.00000000 Sq Ft
2	Smt Arati Naha	M/s Roy And Pal Projects India Private Limited-25.00000000 Sq Ft
3	Shri Kushal Naha	M/s Roy And Pal Projects India Private Limited-25.00000000 Sq Ft
4	Smt Sarbani Das	M/s Roy And Pal Projects India Private Limited-25.00000000 Sq Ft



Endorsement For Deed Number : I - 163001637 / 2018

On 29-06-2018

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 (g) of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 11:23 hrs on 29-06-2018, at the Office of the D.S.R. - V SOUTH 24-PARGANAS by Shri Bipash Roy .

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 45,30,000/-

Major Information of the Deed :- I-1630-01637/2018-29/06/2018

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 29/06/2018 by 1. Shri Sankar Ranjan Naha, Alias Shri Ranjan Sankar Naha, Son of Late Naha, 48/1 Suburban School Road Suhasini Ganguly Sarani, P.O: Bhawanipore, Thana: Bhawanipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700025, by caste Hindu, by Profession Retired Person, 2. Smt Arati Naha, Wife of Late Keshab Ranjan Naha, 48/1 Suburban School Road, P.O: Bhawanipore, Thana: Bhawanipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700025, by caste Hindu, by Profession House wife, 3. Shri Kushal Naha, Son of Late Keshab Ranjan Naha, 48/1 Suburban School Road, P.O: Bhawanipore, Thana: Bhawanipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700025, by caste Hindu, by Profession Service, 4. Smt Sarbani Das, Wife of Shri Indranil Das, 190J Picnic Garden Road, P.O: Picnic Garden, Thana: Tiljala, , South 24-Parganas, WEST BENGAL, India, PIN - 700039, by caste Hindu, by Profession House wife

Indetified by Mr Basu Dev Paul, , , Son of Late D C Paul, Alipore Police Court, P.O: Alipore, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Others

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 29-06-2018 by Shri Bipash Roy, Director, M/s Roy And Pal Projects India Private Limited, 16 Park Avenue Modern Park Santoshpur, P.O:- Santoshpur, P.S:- Purba Jadabpur, District:-South 24-Parganas, West Bengal, India, PIN - 700075

Indetified by Mr Basu Dev Paul, , , Son of Late D C Paul, Alipore Police Court, P.O: Alipore, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Others

Execution is admitted on 29-06-2018 by Shri Asim Pal, Director, M/s Roy And Pal Projects India Private Limited, 16 Park Avenue Modern Park Santoshpur, P.O:- Santoshpur, P.S:- Purba Jadabpur, District:-South 24-Parganas, West Bengal, India, PIN - 700075

Indetified by Mr Basu Dev Paul, , , Son of Late D C Paul, Alipore Police Court, P.O: Alipore, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Others

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 53/- (E = Rs 21/- , H = Rs 28/- , M(b) = Rs 4/-) and Registration Fees paid by Cash Rs 53/-

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 70/- and Stamp Duty paid by Stamp Rs 100/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 80935, Amount: Rs.100/-, Date of Purchase: 08/02/2018, Vendor name: A K Mukherjee



Sati Prosad Bandopadhyay
Sati Prosad Bandopadhyay
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - V SOUTH 24-PARGANAS
South 24-Parganas, West Bengal

Major Information of the Deed :- I-1630-01637/2018-29/06/2018

Certificate of Registration under section 60 and Rule 69.

Registered in Book - I

Volume number 1630-2018, Page from 55022 to 55049
being No 163001637 for the year 2018.



Digitally signed by SATIPRASAD
BANDYOPADHYAY
Date: 2018.07.02 11:23:04 +05:30
Reason: Digital Signing of Deed.

(Sati Prosad Bandopadhyay) 02-07-2018 11:22:59
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - V SOUTH 24-PARGANAS
West Bengal.



(This document is digitally signed.)